

**CITY OF EDGERTON
EDGERTON CITY HALL
12 ALBION STREET
EDGERTON, WI**

PLANNING COMMISSION
Wednesday, June 30, 2021 at 6:00 P.M.

REMOTE PARTICIPATION: To participate or view the meeting, please select the link to the meeting listed on the **calendar events** on the City website's home page at www.cityofedgerton.com

1. Call to Order; Roll Call.
2. Confirmation of appropriate meeting notice posted Friday, June 25, 2021.
3. PUBLIC HEARING:
 - A. The Plan Commission will hold a public hearing to hear comments regarding a request by Northward Development for the approval of a Planned Development/Precise Implementation Plan to allow the construction of nine duplexes southwest of the corner of West Meadows Drive and Hwy 59 (parcel 6-26-860.45).
 - B. Close the public hearing.
4. Consider request by Northward Development for the approval of a Planned Development/Precise Implementation Plan to allow the construction of nine duplexes southwest of the corner of West Meadows Drive and Hwy 59 (parcel 6-26-860.45).
5. PUBLIC HEARING:
 - A. The Plan Commission will hold a public hearing to hear comments regarding a request by Northward Development for the approval of a Planned Development/Precise Implementation Plan to allow the construction of 10 duplexes for the property located east of Dean Street: (Parcel #6-26-956.6)
 - B. Close the public hearing.
6. Consider request by Northward Development for the approval of a Planned Development/Precise Implementation Plan to allow the construction of 10 duplexes for the property located east of Dean Street: (Parcel #6-26-956.6)
7. Consider approval of June 7, 2021 Plan Commission meeting minutes.
8. Consider approval of a Final Plat of One Tree Subdivision to create 45 lots.
9. Consider site plan for 2 Gear Drive.
10. Report on proposed amendments to the Comprehensive Plan.
11. Discuss Concept Plan Phase of a Planned Development to allow the construction of a 42-unit apartment building south of Lake Drive and west of Dairyland Drive.
12. Set next meeting date and future agenda items.
13. Adjourn.

cc: Commission Members All Council Members Department Heads
City Engineer Newspapers

NOTICE: If a person with a disability requires that the meeting be accessible or that materials at the meeting be in an accessible format, call the City Administrator's office at least 6 hours prior to the meeting to request adequate accommodations. Telephone: 884-3341.

Notice is hereby given that a majority of the Common Council is expected to be present at the above scheduled noticed meeting to gather information about a subject over which they have decision-making responsibility. The only action to be taken at this meeting will be action by the Planning Commission."

TO: Edgerton Plan Commission

FROM: Ramona Flanigan

MEETING DATE: June 30, 2021

GENERAL DESCRIPTION

Description of Request: Approval of a Precise Implementation Plan for a Planned Development to allow the construction of nine duplexes

Location: Bristle Pines - Lot 45 West Meadows First Addition (southwest corner of W Meadows Dr and Hwy 59)

Applicant: Northward Development

Current Zoning/Land Use: R4 Planned Development / vacant

STAFF DISCUSSION

Planned Unit Development Process

The Planned Unit Development process has the following four steps.

1. Pre-application Conference - Informal discussion about type of land uses (no maps)
2. Concept Plan - Review of concept drawings and discussion of land uses, intensity, open space, and relationship to nearby features. The City is not obligated or bound by discussions at this stage.
3. General Development Plan (GDP)- Review a more precise proposal of the land development. Zoning is granted at this stage. This is done through a public hearing process. No development can occur at this stage.
4. **Precise Implementation Plan - Review of exact plans for all aspects of the development. Approval of the PIP allows the development to be constructed in strict conformance with the approved PIP.**

STAFF REVIEW COMMENTS

Staff reviewed the petition for planning issues in accordance with the Edgerton Zoning and Land Division Ordinances and has the following comments:

1. The petitioner requests approval of a Precise Implementation Plan (PIP) for a Planned Development to allow the construction of nine duplexes. The developers indicate they plan to sell each unit as a condo and that there will be one condominium association for the entire proposed development. The Comprehensive Plan recommends the parcel be developed as duplexes or townhouses at a maximum density of up to 8 units per acre. The proposed development has a density of 3.9 units per acre which is similar to the density of the Whitney Way condo development. The duplex condo development just north of the subject property has a density of 3.5 units per acre.

2. The attached site plan indicates a proposed “dead end” private street with a large hammer head turn around to accommodate emergency vehicles. The street is proposed to be a 29’ wide (back of curb to back of curb) private street with curbing (except for the hammer head). This is similar to the curbed private street just north of the subject property (Pine Cone Court) and wider than the uncurbed private street named Whitney’s Way.
3. Two units will take access from W Meadows Drive (similar to the duplex on the north side of West Meadows Drive). All other duplexes will access the proposed private drive.
4. Each unit has a two-car garage. The garages are all in the front of the structures. The floor plan indicates one of the garages face the street while the other garage has a side access thus the garage door does not face the street. The front doors to the units face the street. Each unit has 2 parking spaces in front of the garage. The conventional standard for minimum permissible street width with one side parking is 29’ wide. Using this standard, one side on-street parking could be allowed by the condo association. There have been no other accommodations for parking as discussed during the GDP approval. 2-3 parking stalls could be provided in the hammer head as indicated in the attached sketch showing fire truck turning motions.
5. A portion of the existing water main will be abandoned and reinstalled in a new location. The water, sewer and storm sewer mains will be dedicated to the City; the streets and stormwater bioretention basins will not be dedicated. Easements will be required for the infrastructure that will be dedicated.
6. Stormwater storage will be accommodated in the regional pond recently constructed on the corner of Dallman Road and W Fulton Street. The proposed development includes two “dry” bioretention basins to address water volume restrictions in the existing downstream storm sewer. This development must contribute \$8,272 for its share of the regional stormwater pond.
7. The developer must pay parkland fees upon the issuance of a building permit.
8. The landscape plan provides foundation plantings around each building; an evergreen screen along the west boundary next to the existing subdivision and some trees on the front yards. The plan does not provide additional screening along the highway. The plan also does not provide screening between those patios that are near one another. The plan does not meet the ordinance requirements but does retain the existing plant material along Hwy 59.
9. A public sidewalk is provided along West Meadows Drive.
10. The Planned development process allows developer to “vary” ordinance requirements in exchange for a “higher level of site design, architectural control and other aspects of aesthetic and functional excellence than normally required for other developments”. A walking path around the development is an example of an improvement that could be

made in exchange for greater density. The developer should provide either a walking path around the perimeter of the development or some other “community” improvement.

11. The site plan does not specify street lighting. City practice is to have street lights at intersections and mid-block every 400’. There is a street light on W Meadows Drive 144 ft to the west. Staff feels an additional light at the intersection with the private street is not necessary.

STAFF RECOMMENDATION

Staff recommends the Plan Commission approve the PIP for a Planned Development for Bristle Pines (lot 45 of W Meadows First Addition) with the following conditions:

1. The buildings are constructed to allow for division by a condominium plat.
2. The condominium documents address the maintenance of the private street.
3. The entire development is ultimately included in one condominium association.
4. The developer provides a document to be recorded for all utility easements as well as a document to discontinue the water main easement (if there is a recorded easement).
5. Amend the landscape plan to: provide street trees along W Meadows Drive prior to issuance of occupancy permits for the adjoining buildings; provide screening between patios that are near one another; provide screening along Hwy 59 equaling at least 500 landscape points; and provide appropriate plantings in the bioretention basins.
6. The Plan Commission decides if a street light should be provided at the intersection of the private street and W Meadows Drive and/or at the end of the private street.
7. A walking path is installed around the development or some other “community” improvement”.
8. A maintenance agreement is included in the condo documents requiring the maintenance of the basins.
9. The developer pays the regional stormwater basin fee.
10. The developer pays parkland fees with each building permit.
11. The developer complies with the conditions of the City engineer.
12. The developer signs the Development Agreement.
13. The developer makes the improvements in accordance with the approved plans.
14. The condominium documents grant the city access to maintain the water laterals between the easement and the shutoff valves.
15. The exterior finishes and details are allowed to vary for each structure but all buildings have at least as much stone and the architectural details on the front elevation as those shown in the approved plans.
16. The condominium documents prohibit parking the hammerhead turn around except for the western end to ensure fire truck access. (see attached diagram)

Bristle Pines: Precise Implementation Plan

Bristle Pine's Planned Development is a small community that consists of nine duplexes; a private drive; and a landscape barrier on the edge of 59. For this development, we created a duplex model that fits the needs and style of the surrounding area. The exterior of the duplexes show from the front as a single family home by having one front garage and one side garage. Each side is equipped with a two-car garage, which gives ample parking room for the units.

When you enter the duplex, you are welcomed by an open living concept, gas fireplace, and a spacious kitchen with an island. Each side of the duplex has a master bedroom, second bedroom, and a choice of an office space. The units also have two full bathrooms; coat closet and open shelving; and a full, unfinished basement. Each unit has 1,380 sq. ft. of heated living space. The left unit has a 432 sq. ft. garage and the right unit has a 476 sq. ft. garage.

In an effort to provide the best quality construction, our homes come standard with the following: 2x6 exterior construction, architectural shingles, upgraded vinyl siding, brick or stone, solid wood doors and trim, soft close and dovetailed furniture grade cabinets, granite or quartz countertops, luxury vinyl plank, upgraded carpeting, tiled showers, and upgraded finishings throughout. We included a rendering of the exterior design and coloring we plan to use for this PUD. The design we chose is one of our most popular combinations of siding color and stone.

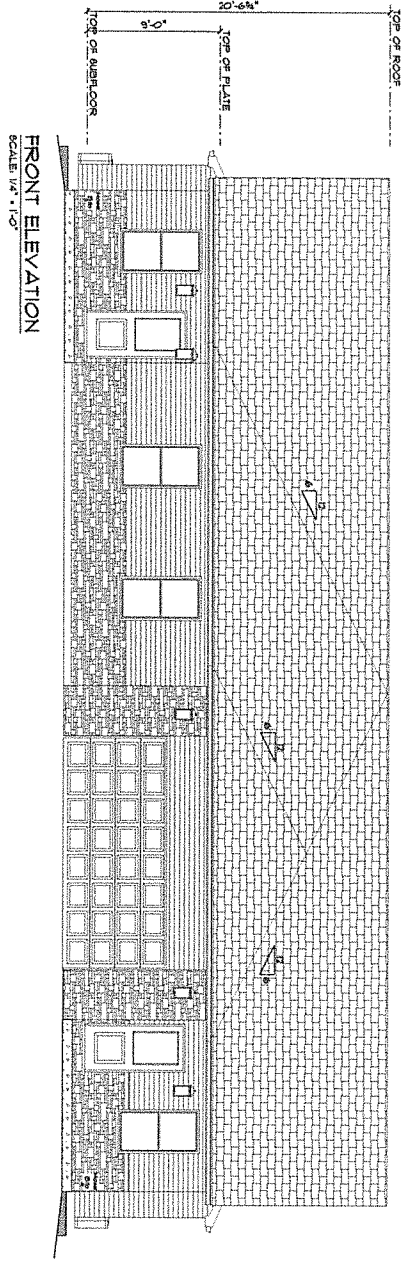
The general theme for this project is to provide Edgerton with affordable duplexes to fit the price range of the surrounding area. Duplexes create a living space that fits the national trend for decreasing household size and a rising median age. It creates a space adequate in size to live and comfortably manage. Our duplex plan contains two bedrooms and an optional office, which gives smaller families and retirees a great space to live in.

Our development fits in with the general relationship of nearby properties and public streets. Our Planned Development molds to what the original PUD had in mind for this area through the private road and duplexes. Across Meadow Ln. are other options of multifamily units and duplexes, while to the west are single family homes. Our development will have access through its own private entrance off Meadow Ln. while two units will have direct access from Meadow Ln. matching the duplex to the north.

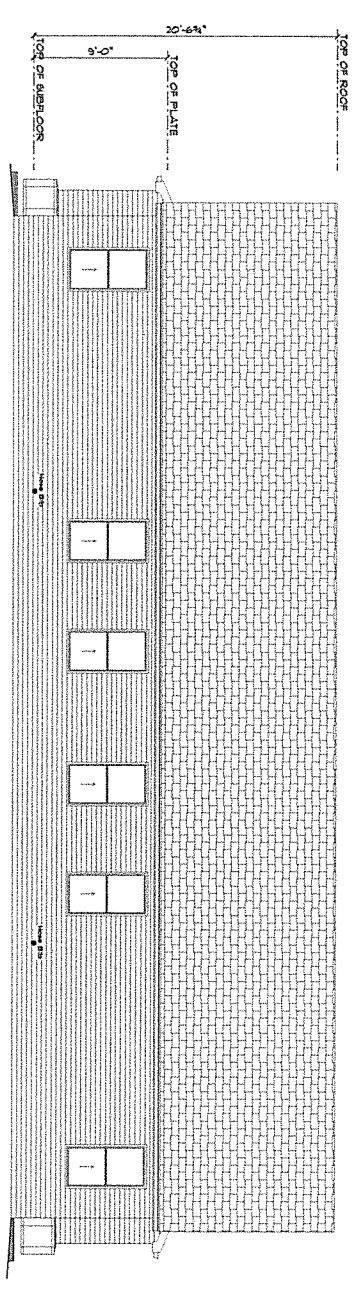
For this development, we will not dramatically alter the natural features of the lot. The only thing we plan to change in terms of the natural features is to add landscaping on the edge of 59 to partially block the roadway from the development. This landscaping will be in the form of a hedge bordering 59, similar to what exists on the corner of N. Arthurs Dr. and 59 in order to keep congruence. Our engineer will be providing a landscape plan with more details.

We believe these units will be highly sought after in Edgerton and are a great fit for the market. We appreciate your time and hope to move forward on this project as soon as possible. ☺

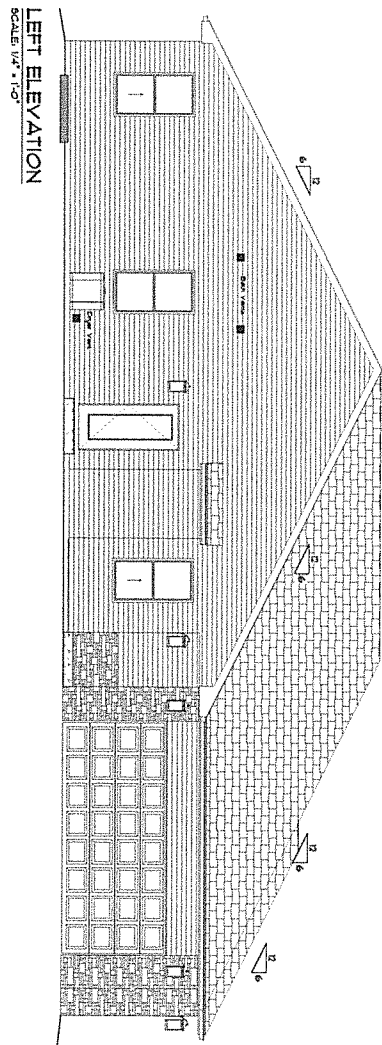
Thank you,



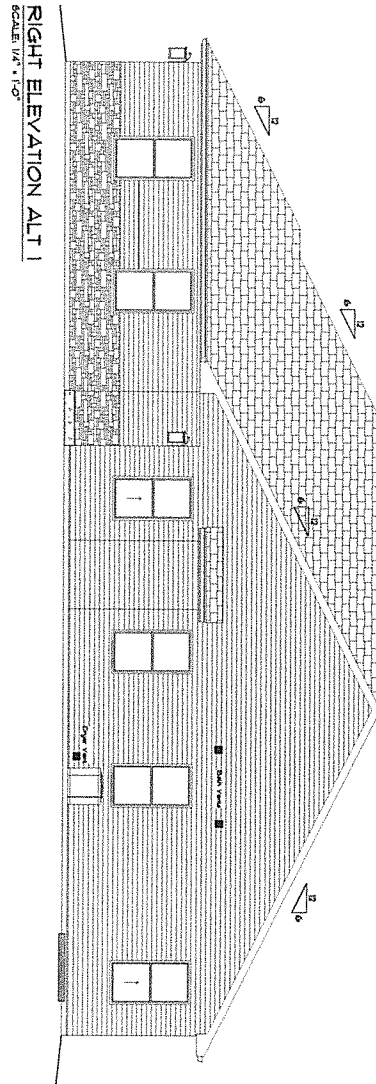
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



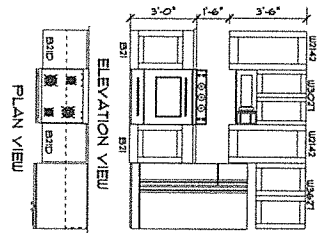
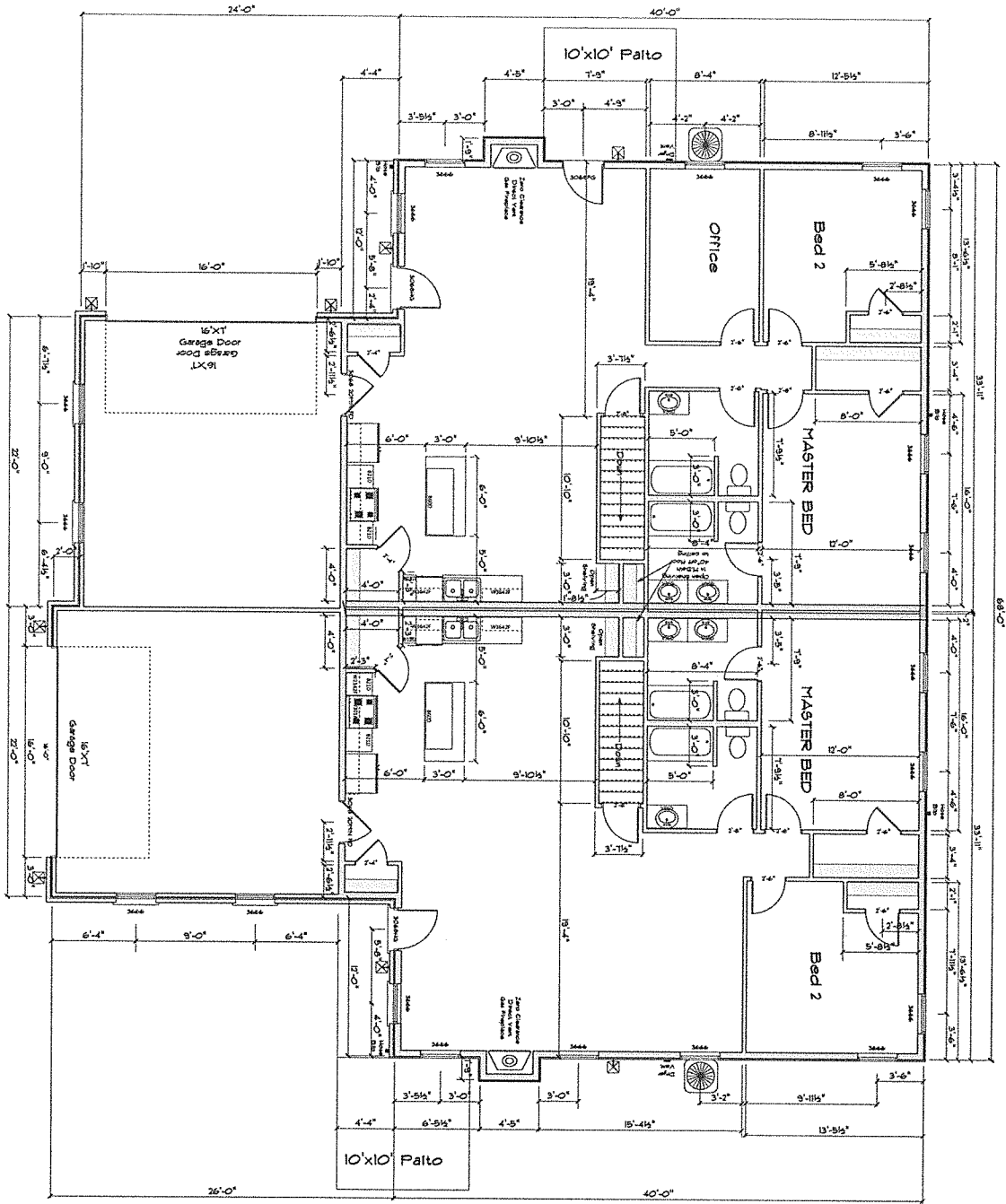
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



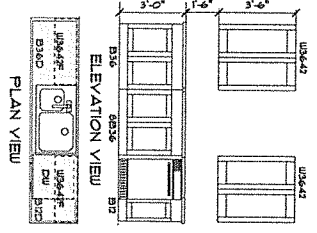
RIGHT ELEVATION ALT 1
SCALE: 1/4" = 1'-0"

MAIN FLOOR ALT 1
SCALE: 1/4" = 1'-0"

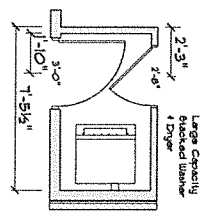
1360 Sq Ft. Per Side
2,760 Total



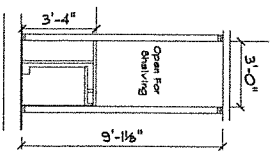
KITCHEN RANGE SIDE
SCALE: 3/8" = 1'-0"



KITCHEN SINK SIDE
SCALE: 3/8" = 1'-0"



MAIN FLOOR LAUNDRY OPTION
SCALE: 3/8" = 1'-0"



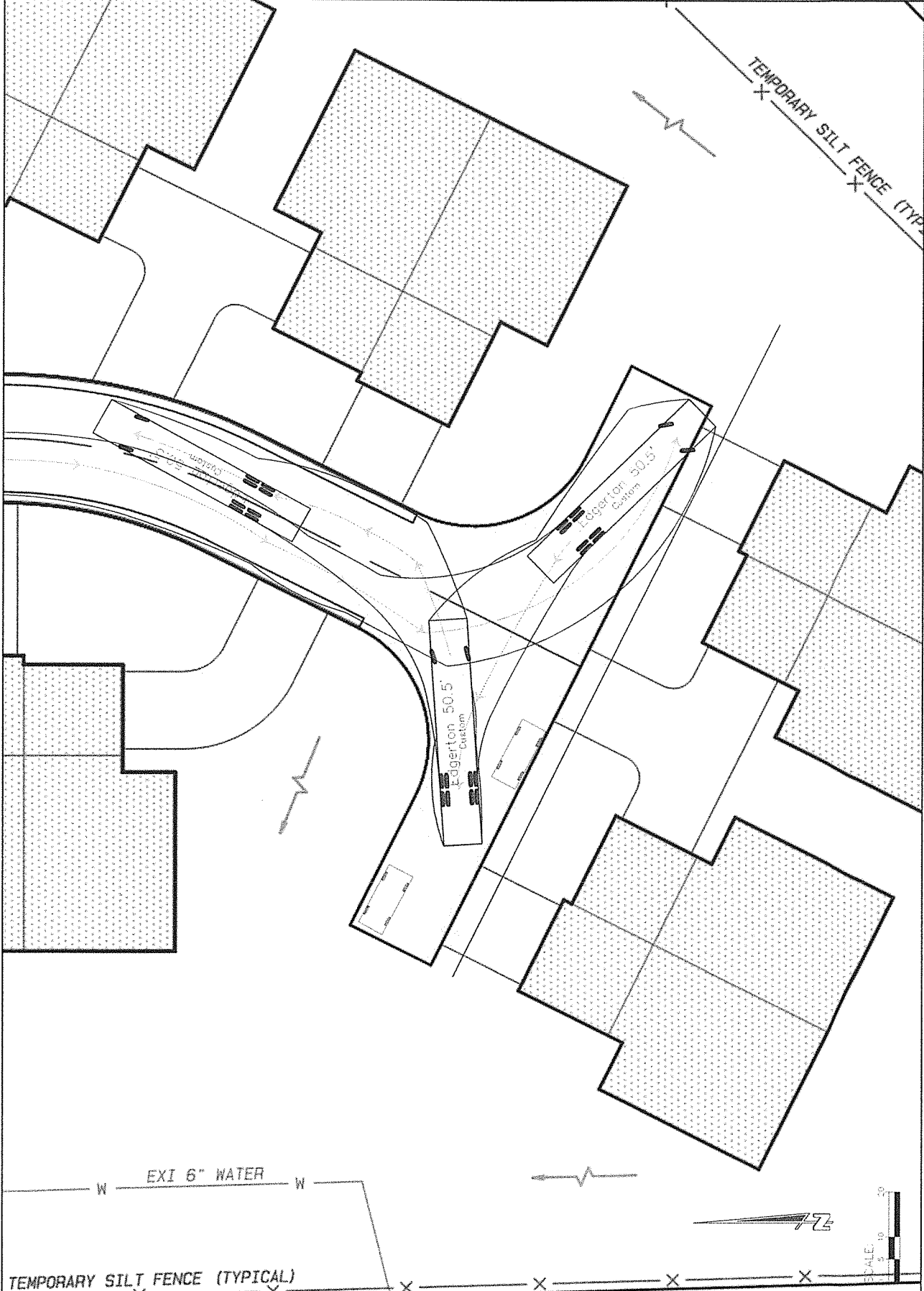
MASTER BATH FRAME DETAIL
SCALE: 3/8" = 1'-0"

DATE PLOTTED	02/22/2021
CORRIGENDUM	0000
DESIGNED BY	0000
CHECKED BY	0000
DATE	FEBRUARY 2021
PROJECT	00000000
REVISIONS FILE	0000
EXHIBIT FILE	0000

Cedar Corporation
 12000 Cedar Road, Suite 100, Cedar Rapids, IA 52404
 319-244-1000
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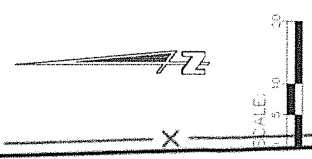
CITY OF EDGERTON
 WEST MEADOWS
 SUBDIVISION DEVELOPMENT
 FIRE TRUCK TURN DIAGRAM

SHEET NO.
 1 of 1



EXI 6" WATER
 W ————— W

TEMPORARY SILT FENCE (TYPICAL)



TO: Edgerton Plan Commission

FROM: Ramona Flanigan

MEETING DATE: June 30, 2021

GENERAL DESCRIPTION

Description of Request: Approval of a Precise Implementation Plan for a Planned Development to allow the construction of ten duplexes – One tree Condominiums

Location: East of Dean Street (Parcel #6-26-956.6)

Applicant: Northward Development

Current Zoning/Land Use: R-3 GDP / agriculture

Parcel Size: 4.73 acres

STAFF DISCUSSION

Planned Unit Development Process

The Planned Unit Development process has the following four steps.

1. Pre-application Conference - Informal discussion about type of land uses (no maps)
2. Concept Plan - Review of concept drawings and discussion of land uses, intensity, open space, and relationship to nearby features. The City is not obligated or bound by discussions at this stage.
3. General Development Plan (GDP)- Review a more precise proposal of the land development. Zoning is granted at this stage. This is done through a public hearing process. No development can occur at this stage.
4. **Precise Implementation Plan - Review of exact plans for all aspects of the development. Approval of the PIP allows the development to be constructed in strict conformance with the approved PIP.**

STAFF REVIEW COMMENTS

Staff reviewed the petition for planning issues in accordance with the Edgerton Zoning and Land Division Ordinances and has the following comments:

1. The petitioner requests approval of a Precise Implementation Plan (PIP) for a Planned Development to allow the construction of ten condominium duplexes. The developers indicate they plan to sell each unit as a condo and that there will be one condominium association for the entire proposed development.

2. The attached site plan indicates a proposed private street with curbing that is 32' wide (back of curb to back of curb). This width is similar to the public streets in Orchard Heights and the proposed streets (other than Wileman Drive) in One Tree Subdivision.

The conventional standard for minimum permissible street width with one side parking is 29' wide. Using this standard, one side on-street parking could be allowed by the condo association on the private street. Wileman is a wider, collector street with ample width for on-street parking on both sides

3. Three of the buildings will take access from Wileman Drive while all others will access the proposed private drive. All units will have decks or patios in the rear. 4 buildings will have exposure to allow egress windows in the basements. The front doors to the units face the street.
4. Each unit has a two-car garage. The garages are all in the front of the structures facing the street. Each unit has 2 parking spaces in front of the garage. The "shared driveways" are 45' wide. The ordinance maximum is 30' wide.
5. The water, sewer and storm sewer mains will be dedicated to the City; the private street and stormwater bioretention basin will not be dedicated. Easements will be required for the infrastructure that will be dedicated.
6. Stormwater storage will be accommodated in a bioretention basin on the south side of the development. The pond is designed to infiltrate.
7. The developer must pay parkland fees upon the issuance of building permits.
8. The landscape plan provides for foundation plantings around each building; and some trees in the lawn. The plan does not meet the ordinance requirements but does retain some, if not all, of the tree line on the south side of the development. Street trees are required by city ordinance along Wileman Drive.
9. A public sidewalk is provided along Wileman Drive.
10. The Planned development process allows the developer to "vary" ordinance requirements in exchange for a "higher level of site design, architectural control and other aspects of aesthetic and functional excellence than normally required for other developments". A walking path along the south and east boundary of the development, a small community shelter, and a play structure are examples of improvements that could be made in exchange for greater density.
11. The site plan does not specify street lighting. City practice is to have street lights at intersections and mid-block every 400'. Street lights will be required with the approval of the final plat at the intersections of the private street and Wileman Drive.

STAFF RECOMMENDATION

Staff recommends the Plan Commission approve the PIP for a Planned Development for One Tree condominium development with the following conditions:

1. The buildings are constructed to allow for division by a condominium plat.
2. The condominium documents address the maintenance of the private street.
3. The entire development is ultimately included in one condominium association.
4. The developer provides a document to be recorded for all utility easements.
5. Amend the planting plan as follows: provide street trees along Wileman Drive; provide low trees or evergreens in the back yards of the units that share back yards equaling at least 500 landscape points; provide a massing of evergreens across from Kinsley Lane to block headlights; and provide appropriate plantings in the bioretention basins.
6. The Plan Commission decide if a street light should be provided along the private street.
7. The a maintenance agreement is included in the condo documents requiring the maintenance of the basins.
8. The developer pays parkland fees with each building permit.
9. The developer complies with the conditions of the City engineer.
10. The developer signs the Development Agreement.
11. The developer makes the improvements in accordance with the approved plans.
12. A plant bed is provided running from the driveway apron to the structure between the garages of the two units to break up the large expanse of driveway pavement.
13. The Developer provides either a walking path along the south and east boundary of the site, a small community shelter, a play structure or some other improvement in exchange for greater density.
14. The condominium documents grant the city access to maintain the water laterals between the easement and the shutoff valves.
15. The exterior finishes and details are allowed to vary for each structure but all buildings have at least as much stone and the architectural details on the front elevation as those shown in the approved plans.



engineering | architecture | environmental | surveying
landscape architecture | planning | economic development

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MEMO

DATE: June 25, 2021
TO: Ramona Flanigan and Howard Moser
FROM: Bill Betzig & Joe Pingel
REGARDING: One Tree Subdivision Engineering Review

PROJECT # 04894-0101

We have reviewed the One Tree Subdivision Plans and Storm Water Management Plan (SWMP) which was submitted by Combs & Associates. The proposed development will be on parcels 6-26-955 and 6-26-956.6. The development is required to meet the City's Stormwater and Erosion Control Ordinance (Chapter 30). Public water main and sanitary sewer materials and installation shall meet the requirements of the City. The erosion control storm water management plan along with the utility plans has been conditionally approved upon successfully resolving the following items:

1. The proposed development includes two storm water basins. The north storm water basin is temporary until the area to the north develops. At which time a regional pond would be constructed to incorporate the north portion of the proposed development and the future development. The south storm water basin will serve a smaller area and is not planned to be replaced. The person responsible for the long-term maintenance of these BMPs needs to be identified in the SWMP.
2. A map showing the drainage areas for each storm water basin under pre-development land conditions and a map showing the drainage areas for each storm water basin under post-development land conditions was not provided. Please provide.
3. The hydroCAD and winSLAMM modeling indicates that the entire development is being routed through a BMP. Based on the grading plan, this does not appear to be the case. For example, lots 1, 2, 17, 18, 19 and 20 are not draining into the north biofilter.
4. Both the north and south BMPs will be infiltration basins. Please provide test pit data documenting the existing infiltration capacities of the native soil per WDNR technical standards. Please note the modeling uses 3.6 inches per hour for the native soil. This rate is typically used for the engineered media.
5. Both infiltration ponds do not have under drains, please provide a drawn down calculation.
6. The SWMP states the north and south storm water basins will be infiltration basins/biofilters however there is nothing on the plans to indicate they are infiltration basins/biofilters. Please provide details showing a cross section of each biofilter.

7. The winSLAMM model should be one model for the site and should also include areas not draining into either BMP. Please revise and provide a routing diagram.
8. The north infiltration basin will be converting predevelopment storm water flow into concentrated post development flow. A drainage easement or agreement with the downstream landowner is required.
9. The plans and the calculations need to agree. Please revise.
 - The plans call out a 6" pipe, a 48" overflow manhole and an overflow weir for the north storm water basin. The hydroCAD model has an 8" vertical orifice and overflow weir. The winSLAMM model has an 8.4" outlet pipe and an overflow weir.
 - The plan has the bottom of the North storm water basin as 862. HydroCAD is 861.50. The plan has the top of berm for the North storm water basin as 868. HydroCAD has the top as 868.5. WinSLAMM has the depth of the North storm water basin as 5' which does not include a rock layer but includes a 1' engineered media layer.
 - The hydroCAD model has 13.9 acres to the north storm water basin where as winSLAMM has 13.91 acres.
 - The hydroCAD model has 10.3 acres to the south storm water basin where as winSLAMM has 9.59 acres.
 - The south storm water basin is using two infiltration rates which add up to 4.6"/hour.
 - The plan has the bottom of the South storm water basin as 877. HydroCAD is 876.50. The plan has the top of berm for the South storm water basin as 881. HydroCAD has the top as 881.5. WinSLAMM has the depth of the North storm water basin as 4' which does not include a rock layer but includes a 2' engineered media layer.
10. The side infiltration rate in the winSLAMM model for the biofilters needs to be set to 0.01. Please revise.
11. Please correct the grading on the south center of the South storm water basin where the berm grades to a peak 881 elevation.
12. A maintenance agreement is required for both storm water management areas. Please provide. The maintenance agreement when recorded will be a stand-alone document. Please ensure a map showing all BMP covered by the agreement is attached as exhibit to the maintenance agreement. Please note: recorded maintenance agreement with the county register of deeds will be required to be provided prior to starting construction.
13. Please provide erosion control calculations.

14. With future submittals please provide a complete submittal (SWMP and plans) with a comment and response.
15. Please submit the hydroCAD, WinSLAMM and CAD files.

The following items are related to comments and edits required on the engineering plans (see attached plan mark-ups):

16. Contractor will need to hold a preconstruction meeting prior to starting any work on the site.
17. Make edits as shown on the "Site Notes and Details" pages.
18. Include additional silt fence as noted on the "Erosion Control" pages.
19. Watermain depth is 6.5 feet minimum – adjust note in profiles.
20. Move and add water valves as shown.
21. Add storm sewer in the profile on Hubert St east of Kinsley.
22. Lower the watermain on Hubert so that the watermain on Kinsley is either flat or going uphill to the south.
23. Your "k" values on the street profiles should have minimum values for a crest = 31 and sag = 37.
24. Minimum grade on streets should be 0.5%.
25. At the Kinsley and Cherry intersection – revise storm sewer to be as shown on the marked-up Kinsley plan and profile sheet.
26. Add air release valve and manhole at the east end of Cheery St and Wileman Dr.
27. Add temporary "T" turnarounds at both ends of Wileman Dr.
28. Add hydrant on Wileman just east of Kinsley.
29. Investigate and design street and utility grades for future expansion off the east end of Wileman to make sure what is constructed will work for the future.
30. Revise cross sections to show that sidewalks are graded to a cross slope of 1.5%.

One Tree: Precise Implementation Plan

One Tree's PUD consists of ten spacious duplexes lining a private road in the southeastern corner of our development. One side of the duplex offers a two-car attached garage, master suite, a second and third bedroom, two full baths, a laundry room, a patio, and a large kitchen/living area with a fireplace. The other side of the duplex offers all the amenities of the first but with an office in place of the third bedroom. The total heated square footage for the three bedroom unit is 1,813 sq. ft., while the two bedroom plus office unit totals 1,739 sq. ft. Both units include additional 549 sq. ft. garages.

The general theme for this project is providing Edgerton with higher-end duplexes abutting the golf course. Duplexes create a living space that fits the national trend for decreasing household size and a rising median age. It creates a space adequate in size to live and comfortably manage. Our duplex plan contains two to three bedrooms, which we believe is the ideal household size to bedroom ratio.

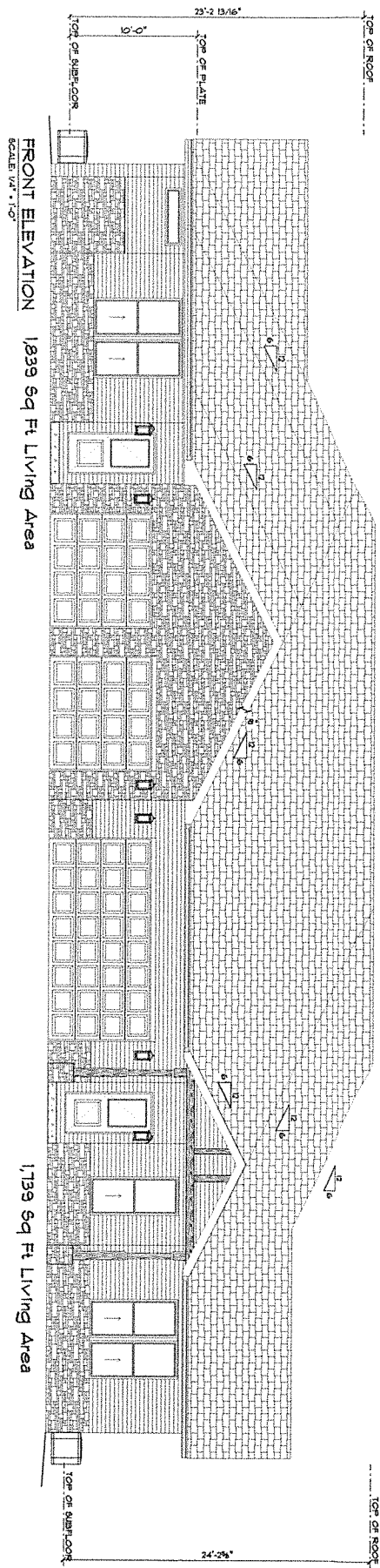
We picked this particular duplex plan in order to offer home buyers an option not currently offered in Edgerton. As you can see from the rendering, the duplex has a very attractive contemporary look. The interior provides an open concept living area with the master bedrooms and communal living areas facing the backyard.

In an effort to provide the best quality construction, our homes come standard with the following: 2x6 exterior construction, architectural shingles, upgraded vinyl siding, stone, solid wood doors and trim, soft close and dovetailed furniture grade cabinets, granite or quartz countertops, luxury vinyl plank, upgraded carpeting, tiles showers, and upgraded finishings throughout. We provided a rendering of the exterior design and coloring we plan to use for this PD.

As you will see, the proposed design is modern and equipped with an attractive roof line, a decorative entrance feature, and upgraded siding and stone. We plan to keep the colors of the duplexes consistent to create an exclusivity for the PUD. The duplexes will have a few altering frontal stone patterns throughout the buildings to keep the design interesting but still harmonious. The front exterior wall will consist of at least 50% of stone cover for each building. The color and stone we chose for the exterior consists of our most requested materials. The clay garages bring a warmth and timelessness to the dark stone and siding we chose. We believe it perfectly combines modernity with classicness.

For the PUD, we will not dramatically alter the natural features of the area. The southernmost area of the development will be dedicated to stormwater management, which may require some altering of the land or cutting down of trees. Our engineer will be including a landscape plan in our proposal which will show additional details.

Our development fits in with the general relationship of nearby properties and public streets. The two-family dwellings located in the PD will fit One Tree's development to the north and west through similar exterior themes. It will be an addition to this development through offering a supplementary layout for homebuyers. Further, this PD fits with the Master Plan. One goal in the Master Plan is to promote a future land use pattern containing a mixed use of building types. This area is marked to be a planned neighborhood which includes single family, two family, and mixed residential. In our overall development plan, we provide both single family and two family options.

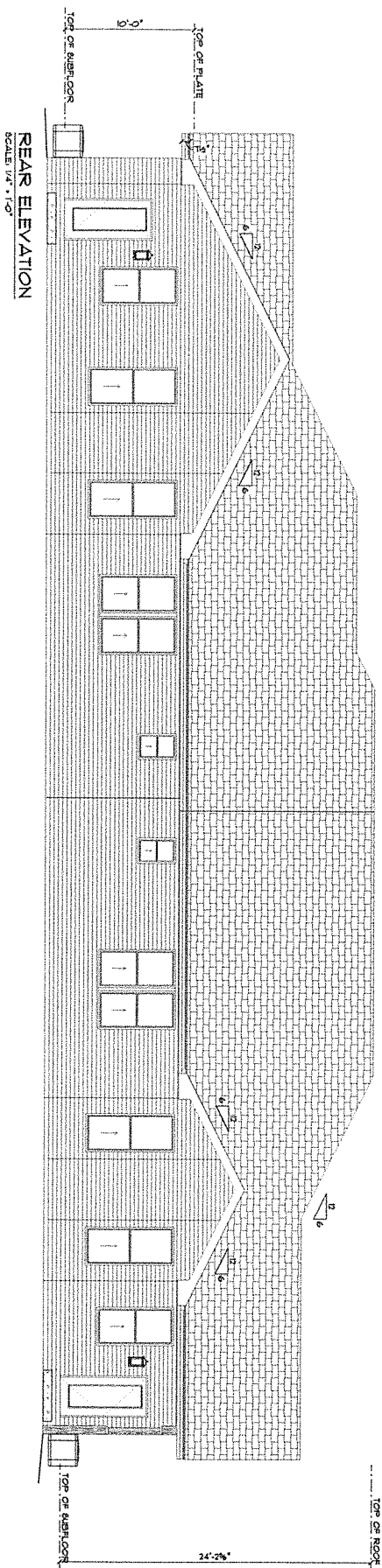


FRONT ELEVATION

1,839 Sq Ft Living Area

1,739 Sq Ft Living Area

SCALE: 1/4" = 1'-0"

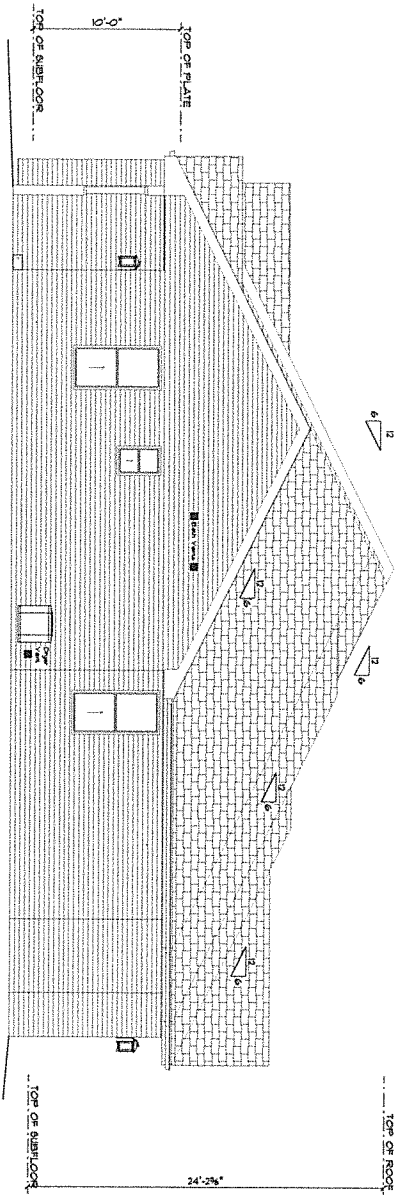


REAR ELEVATION

SCALE: 1/4" = 1'-0"

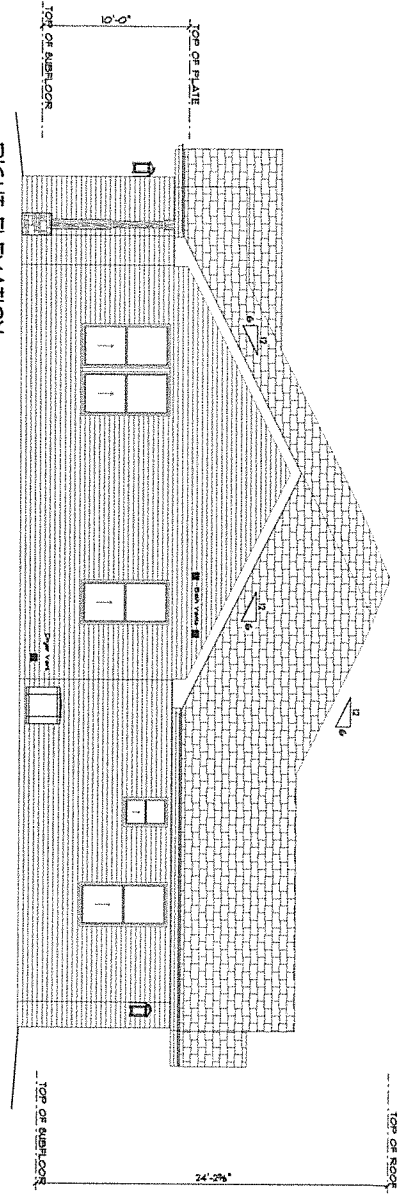
LEFT ELEVATION

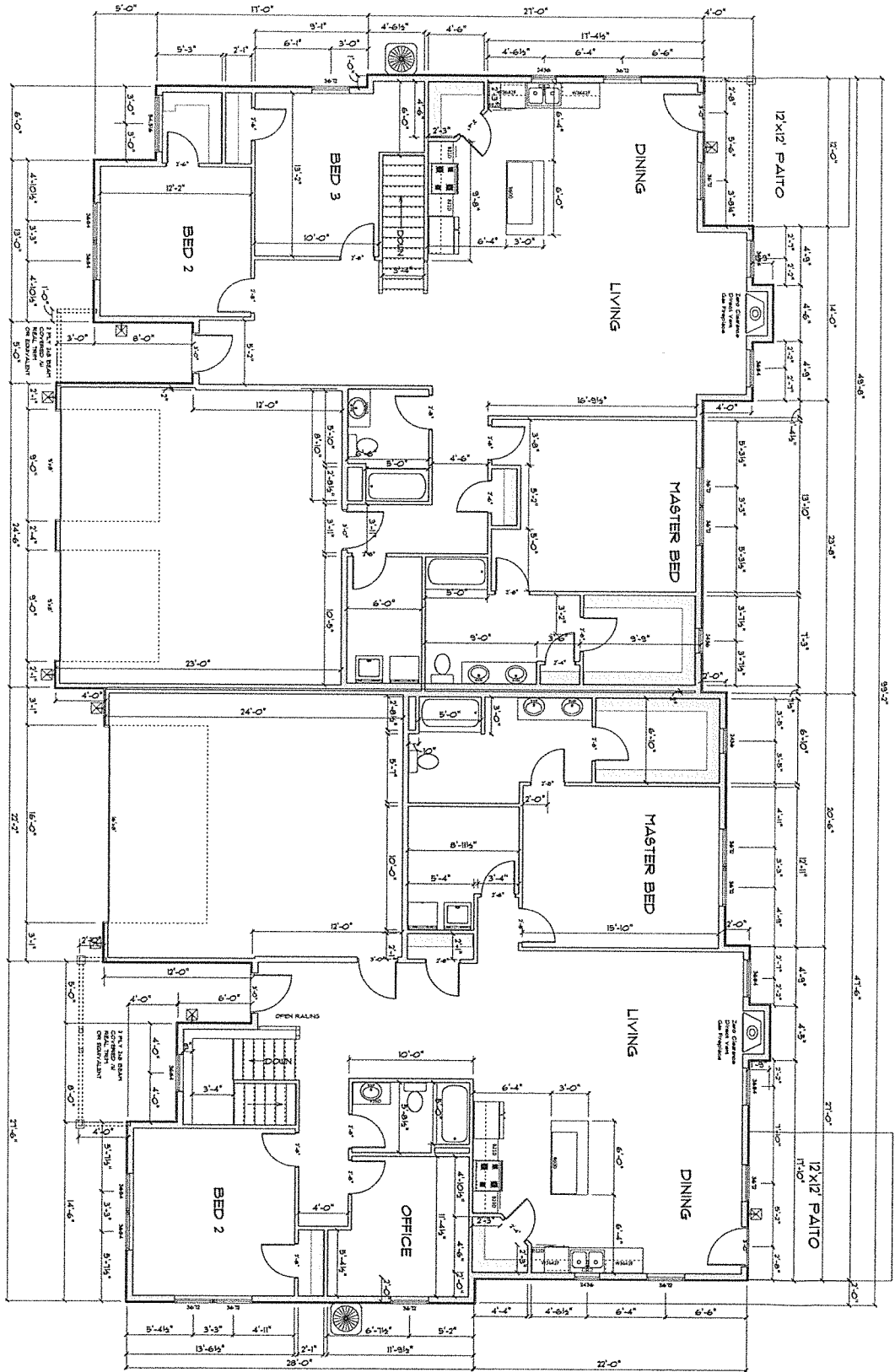
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

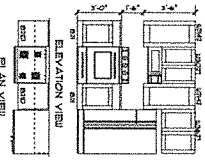




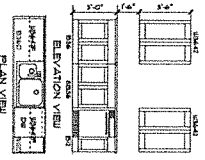
MAIN FLOOR
SCALE: 1/4" = 1'-0"

1213 Sq Ft Living Area

1739 Sq Ft Living Area



KITCHEN RANGE SIDE
SCALE: 1/4" = 1'-0"



KITCHEN SINK SIDE
SCALE: 1/4" = 1'-0"

**JUNE 7, 2021 PLAN COMMISSION MEETING MINUTES
CITY OF EDGERTON**

Commission Chair Christopher Lund called the meeting to order at 5:45 p.m.

Present: Christopher Lund, Jim Burdick, Paul Davis, Jim Kapellen, and Ron Webb.

Absent: Theran Springstead and Julie Hagemann.

Staff Present: City Administrator Ramona Flanigan.

City Administrator Ramona Flanigan confirmed the meeting agendas were properly posted on Friday, June 4th at the Post Office, Edgerton Library, and City Hall.

MINUTES: A Ron Webb/Jim Burdick motion to approve the minutes from the May 3, 2021 Plan Commission meeting passed on a 5/0 roll call vote.

CONSIDER EXTRATERRITORIAL FOR WILEMAN: A Jim Kapellen/Ron Webb motion to approve an extraterritorial two lot land division on Edgewood Shores Road and Riverview Drive for Wileman in Section 11 of the Town of Fulton passed on a 5/0 roll call vote.

Being no other business before the Commission, a Chris Lund/Paul Davis motion to adjourn passed on a 5/0 roll call vote.

Ramona Flanigan/ch
City Administrator

Approved June 30, 2021

TO: Edgerton Plan Commission

FROM: Staff

MEETING DATE: June 30, 2021

GENERAL DESCRIPTION

Description of Request: Petition for approval of a final plat to create 45-lots for One Tree Subdivision (Parcel #6-26-955 and 6-26-956.6)

Location: East of Dean Street

Applicant: Northward Development LLC

Current Zoning/Land Use: R-2 and R-3 PD for lot 45/ agriculture

Lot Size: approximately 22 acres

STAFF REVIEW COMMENTS

Staff has reviewed the petition for planning issues in accordance with the Edgerton Zoning and Land Division Ordinances and has the following comments:

1. The petitioner proposes to divide the lot to create 45 lots. Lots 1-44 are zoned R-2. The developers plan to seek approval of a duplex condominium development in lot #45. Adjacent land uses consist of the following: residential west, golf course and future residential to south; and agriculture to the north and east.
2. The proposed lots comply with the lot area and width requirements.
3. Wileman Drive is planned as a collector street with a wider ROW (70') and a wider street (42' from back of curb to back of curb). All other streets are planned to be 32' wide which is the same width as the streets in Orchard Subdivision.
4. Street names of Cherry, Hubert and Wileman have been "extended" into this subdivision.
5. Sidewalks are 5' wide which is DOT convention (not a requirement). Edgerton's typical sidewalk is 4' wide.
6. A note should appear on the final plat requiring driveway access on lots 39 and 40 be as far from the intersection as possible.

7. The plan shows the reconstruction of the curbs (narrowing of the road) on Cherry and Hubert Streets east of Dean Street to match the width of streets in this subdivision.
8. The stormwater pond is considered temporary since the City's Master Plan proposes stormwater eventually be handled in a regional pond near Ladd Lane. The temporary pond will be deeded to the City. If a regional pond is created in the future, the temporary pond would be filled in and sold for residential development.
9. The construction plans indicate temporary "T" turn arounds at the end of One Tree Drive, Hubert and Cherry Streets. Staff recommends hammer heads also be provided at the ends of Wileman Drive.
10. The plan provides a larger (12") water main in Wileman Drive as part of the overall City water system design.
11. Street lights should be provided at each intersection including the intersections of Wileman Drive and the private street.
12. The plans indicate almost all garage elevations are above the back of curb to ensure positive drainage from the structure to the street. The cross sections in the plan do not reflect the garage floor elevations. The cross sections should be modified to show the sidewalk is at least 6" above the back of curb.

STAFF RECOMMENDATION

Staff recommends the Plan Commission recommend approval of the proposed final plat to create 45 lots for One Tree Subdivision located east of Dean Street subject to the following conditions.

1. The City Engineer approves utility extension, storm water control, and erosion control plans.
2. The final plat indicates all easements.
3. The petitioner enters into a development agreement with the City before signing the final plat.
4. The developer pays the park impact fees when building permits are issued.
5. The developer pays a platting fee of \$450 dollars.
6. A note appears on the final plat requiring driveway access on lots 39 and 40 be as far from the intersection as possible.
7. An easement or agreement is obtained for temporary pond outflow.
8. Hammer head turn arounds are provided at both ends of Wileman Drive.
9. Street lights are provided at each intersection including the intersections of Wileman Drive and the private street.
10. The cross sections are modified to show the sidewalk is at least 6" above the back of curb.
11. Structures are built in accordance the garage floor elevations shown on the plans and the front of the structure is no lower than the garage floor elevation.
12. Street trees, as approved by the Municipal Services Director, are installed prior to occupancy permits being issued.
13. The pond is deeded to the City.



engineering | architecture | environmental | surveying
landscape architecture | planning | economic development

MEMO
2820 Walton Commons W, Suite 142
Madison, WI 53718
608-249-5046
800-472-7372
FAX 608-249-5824
www.cedarcorp.com

DATE: June 25, 2021
TO: Ramona Flanigan and Howard Moser
FROM: Bill Betzig & Joe Pingel
REGARDING: One Tree Subdivision Engineering Review

PROJECT # 04894-0101

We have reviewed the One Tree Subdivision Plans and Storm Water Management Plan (SWMP) which was submitted by Combs & Associates. The proposed development will be on parcels 6-26-955 and 6-26-956.6. The development is required to meet the City's Stormwater and Erosion Control Ordinance (Chapter 30). Public water main and sanitary sewer materials and installation shall meet the requirements of the City. The erosion control storm water management plan along with the utility plans has been conditionally approved upon successfully resolving the following items:

1. The proposed development includes two storm water basins. The north storm water basin is temporary until the area to the north develops. At which time a regional pond would be constructed to incorporate the north portion of the proposed development and the future development. The south storm water basin will serve a smaller area and is not planned to be replaced. The person responsible for the long-term maintenance of these BMPs needs to be identified in the SWMP.
2. A map showing the drainage areas for each storm water basin under pre-development land conditions and a map showing the drainage areas for each storm water basin under post-development land conditions was not provided. Please provide.
3. The hydroCAD and winSLAMM modeling indicates that the entire development is being routed through a BMP. Based on the grading plan, this does not appear to be the case. For example, lots 1, 2, 17, 18, 19 and 20 are not draining into the north biofilter.
4. Both the north and south BMPs will be infiltration basins. Please provide test pit data documenting the existing infiltration capacities of the native soil per WDNR technical standards. Please note the modeling uses 3.6 inches per hour for the native soil. This rate is typically used for the engineered media.
5. Both infiltration ponds do not have under drains, please provide a drawn down calculation.
6. The SWMP states the north and south storm water basins will be infiltration basins/biofilters however there is nothing on the plans to indicate they are infiltration basins/biofilters. Please provide details showing a cross section of each biofilter.

7. The winSLAMM model should be one model for the site and should also include areas not draining into either BMP. Please revise and provide a routing diagram.
8. The north infiltration basin will be converting predevelopment storm water flow into concentrated post development flow. A drainage easement or agreement with the downstream landowner is required.
9. The plans and the calculations need to agree. Please revise.
 - The plans call out a 6" pipe, a 48" overflow manhole and an overflow weir for the north storm water basin. The hydroCAD model has an 8" vertical orifice and overflow weir. The winSLAMM model has an 8.4" outlet pipe and an overflow weir.
 - The plan has the bottom of the North storm water basin as 862. HydroCAD is 861.50. The plan has the top of berm for the North storm water basin as 868. HydroCAD has the top as 868.5. WinSLAMM has the depth of the North storm water basin as 5' which does not include a rock layer but includes a 1' engineered media layer.
 - The hydroCAD model has 13.9 acres to the north storm water basin where as winSLAMM has 13.91 acres.
 - The hydroCAD model has 10.3 acres to the south storm water basin where as winSLAMM has 9.59 acres.
 - The south storm water basin is using two infiltration rates which add up to 4.6"/hour.
 - The plan has the bottom of the South storm water basin as 877. HydroCAD is 876.50. The plan has the top of berm for the South storm water basin as 881. HydroCAD has the top as 881.5. WinSLAMM has the depth of the North storm water basin as 4' which does not include a rock layer but includes a 2' engineered media layer.
10. The side infiltration rate in the winSLAMM model for the biofilters needs to be set to 0.01. Please revise.
11. Please correct the grading on the south center of the South storm water basin where the berm grades to a peak 881 elevation.
12. A maintenance agreement is required for both storm water management areas. Please provide. The maintenance agreement when recorded will be a stand-alone document. Please ensure a map showing all BMP covered by the agreement is attached as exhibit to the maintenance agreement. Please note: recorded maintenance agreement with the county register of deeds will be required to be provided prior to starting construction.
13. Please provide erosion control calculations.

14. With future submittals please provide a complete submittal (SWMP and plans) with a comment and response.
15. Please submit the hydroCAD, WinSLAMM and CAD files.

The following items are related to comments and edits required on the engineering plans (see attached plan mark-ups):

16. Contractor will need to hold a preconstruction meeting prior to starting any work on the site.
17. Make edits as shown on the "Site Notes and Details" pages.
18. Include additional silt fence as noted on the "Erosion Control" pages.
19. Watermain depth is 6.5 feet minimum – adjust note in profiles.
20. Move and add water valves as shown.
21. Add storm sewer in the profile on Hubert St east of Kinsley.
22. Lower the watermain on Hubert so that the watermain on Kinsley is either flat or going uphill to the south.
23. Your "k" values on the street profiles should have minimum values for a crest = 31 and sag = 37.
24. Minimum grade on streets should be 0.5%.
25. At the Kinsley and Cherry intersection – revise storm sewer to be as shown on the marked-up Kinsley plan and profile sheet.
26. Add air release valve and manhole at the east end of Cheery St and Wileman Dr.
27. Add temporary "T" turnarounds at both ends of Wileman Dr.
28. Add hydrant on Wileman just east of Kinsley.
29. Investigate and design street and utility grades for future expansion off the east end of Wileman to make sure what is constructed will work for the future.
30. Revise cross sections to show that sidewalks are graded to a cross slope of 1.5%.

TO: Edgerton Plan Commission

FROM: Staff

MEETING DATE: June 30, 2021

GENERAL DESCRIPTION

Description of Request: Petition for approval of a site plan to allow the construction of a storage building in the M-2 General Industrial District

Location: 2 Gear Drive (Northwest corner of Gear Drive and West Fulton Street in the West Side Industrial Park)

Applicant: Bruce Teague

Current Zoning/Land Use: M-2 General Industrial District/vacant

Lot Size: 0.66 acres

Staff has reviewed the petition for planning issues in accordance with the Edgerton Zoning and Subdivision Ordinances and has the following comments:

1. The subject parcel is located at the northwest corner of Gear Drive and West Fulton Street in the Westside Industrial Park. The parcel is zoned M-2 General Industrial District. The petitioner proposes to establish a 3,888 sf building for storage. The site is heavily wooded. Tree cover west of the building will be retained.
2. The east elevation (facing Gear Drive) has 3 overhead doors and the main entrance. There is a canopy over the main entrance. There are windows on the two street sides. The parking area is also on the east side of the building.
3. The site complies with the: landscape surface ratio; building setbacks; lot dimension, area, and height; parking standards of the zoning ordinance; and the restrictive covenants. The plan should be amended to show the required 10' setback for the pavement (other than the driveway) from the front property line.
4. The exterior building materials will be steel siding with a vertical pattern.
4. The site plan provides a shared driveway for car and truck access. The parking lot and driveway will be concrete. Trucks will back to the overhead door on the east elevation (north end) of the building. The parking lot configuration is not ideal because the parking stalls adjacent to the loading dock will not have a curb or bumper blocks and will be difficult to access. The proposal does however comply with the ordinance.
5. There is no curbing proposed for the parking lot. Staff has suggested curbing the driveway between the parking lot and the street curb. The fact that the pavement will be concrete and not

asphalt reduces the need to provide curbing.

6. Storm water drainage from the building and parking area will generally travel from the north to the south and southwest overland to the existing ditch on the south side and the regional pond on the west side of the site. Roof drainage will be collected in gutters that will drain to turf on the south end of the building. The building floor elevation will be slightly higher than the curb at its highest spot to ensure positive drainage.
7. The gas meter will be located on the south side of the building. These utilities should be screened as part of the landscape plan.
8. The petitioner does not plan to have a dumpster. If one is installed in the future it must comply with the location and screening requirements.
9. Wall pack lights will be located over the loading docks. The petitioner does not plan to provide parking lot lighting.

STAFF RECOMMENDATION

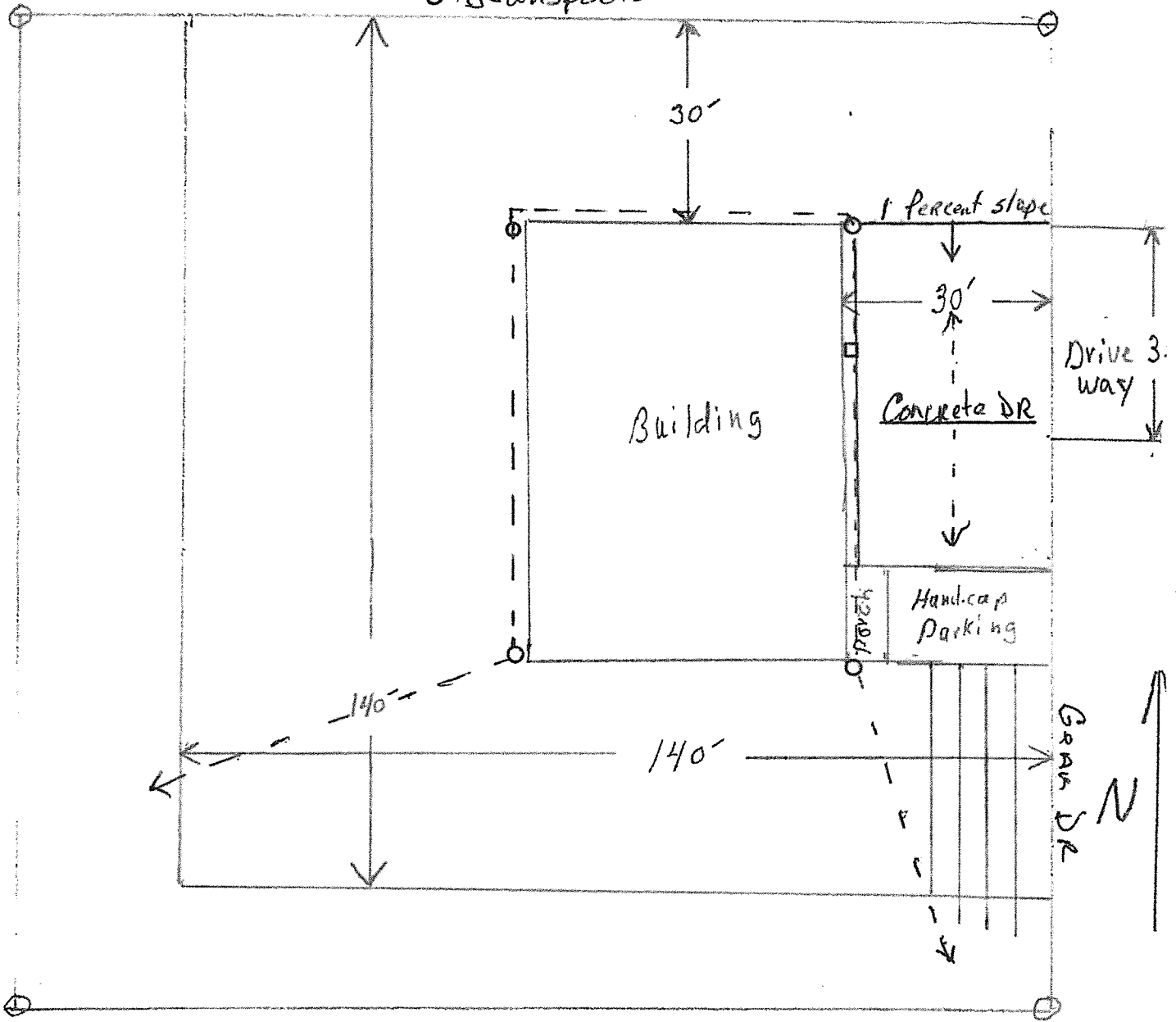
Staff recommends the Plan Commission approve the site plan for 2 Gear Drive to allow the construction of a storage building in the M-2 General Industrial District located on the northwest corner of Gear Drive and West Fulton Street in the Westside Industrial Park with the following conditions:

1. The petitioner obtains a sign permit if a sign is planned.
2. Outside utilities are screened.
3. The petitioner provides landscaping between the parking lot and the building and around the site utilities. The petitioner must provide a landscape plan having a total of 122 landscape points.
4. The Plan Commission determine if curbing will be required.
5. The optics of the building lighting are “cut-offs” that restrict light from spilling from the site.
6. The plan is amended to show the required 10’ setback for the pavement (other than the driveway) from the front property line.

□ - outside lighting

| - storm water from concrete

○ - Downspouts



W. Fulton St.

○ - Lot Cor.

MBMI
GC License

DC-059500742

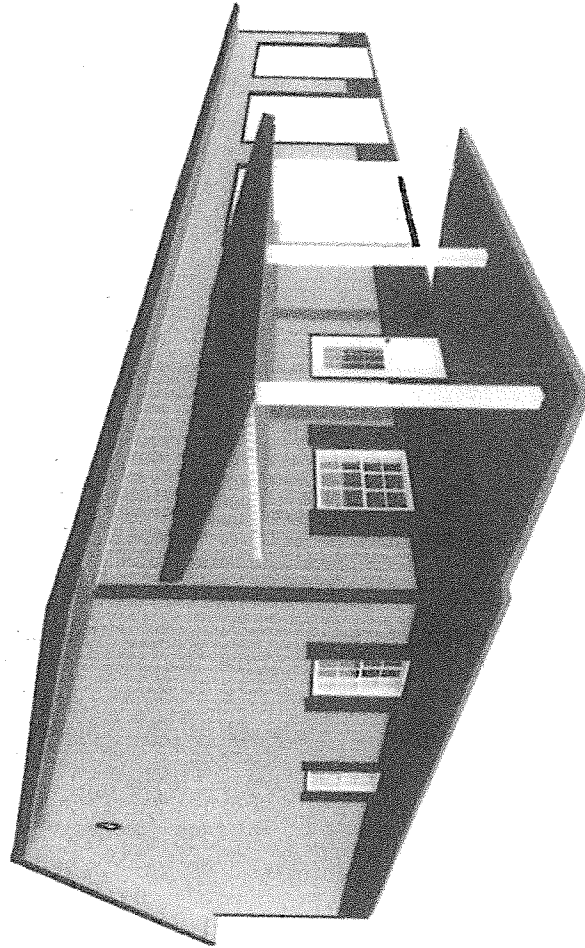


252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Job:
Date:
Page:

B091106930
3/5/2021
8 of 14

306 54'x14' 4"x72' South and East Walls



Handwritten initials, possibly 'AS', written in black ink on a white background.

MBMI
GC License:

DC-059500742

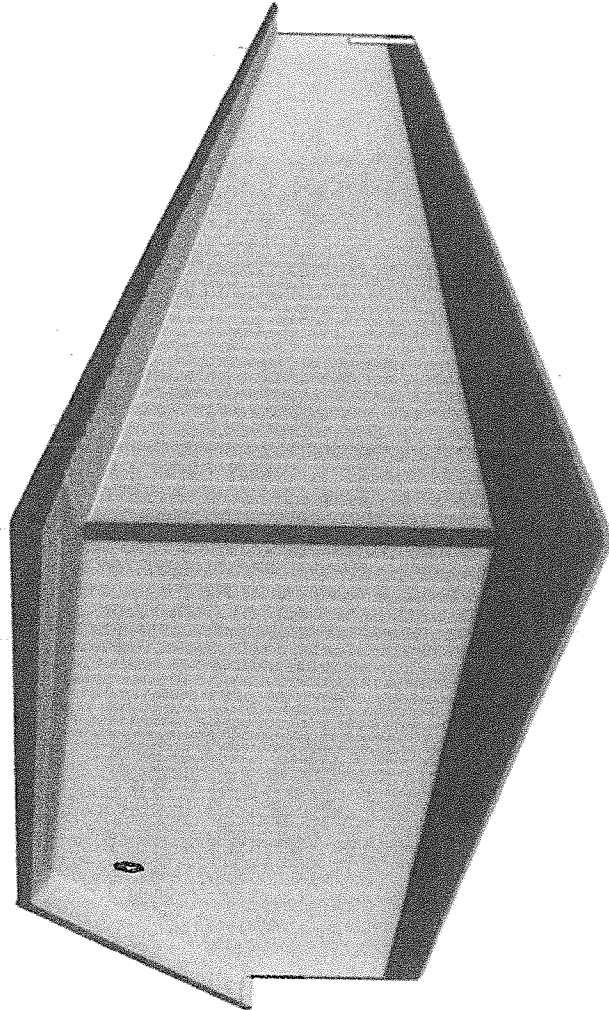
 **MORTON BUILDINGS, INC.**

252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Job:
Date:
Page:

BC91106930
3/5/2021
9 of 14

306 54'x14' 4"x72' North and West Walls

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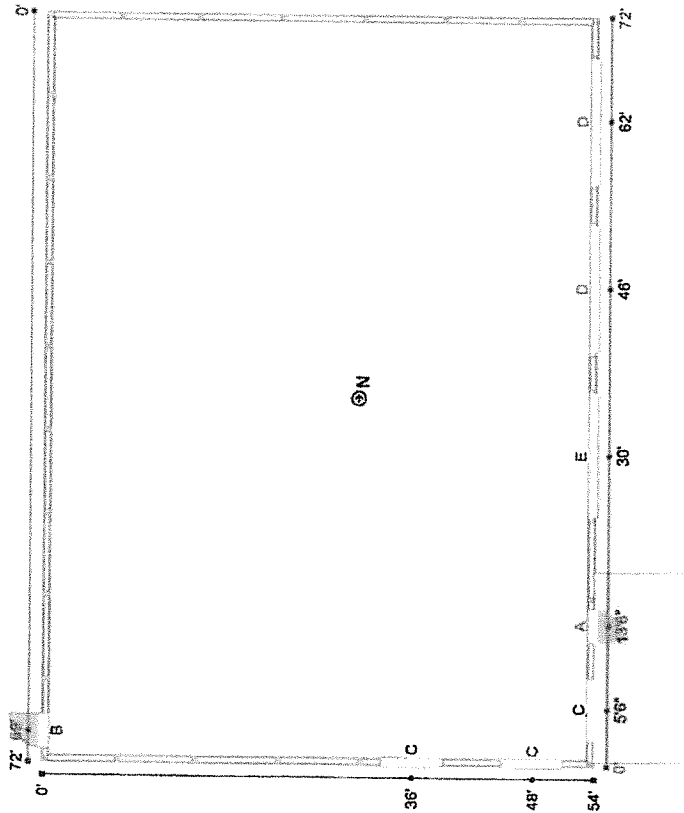


252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

B091106930

Job:
Date: 3/5/2021
Page: 10 of 14

306 54'x14' 4"x72' (#1) Column Plan



TO: Edgerton Plan Commission

FROM: Ramona Flanigan

MEETING DATE: June 30, 2021

GENERAL DESCRIPTION

Description of Request: Discussion of Concept Plan for a Planned Development to allow the construction of a 42-unit apartment building

Location: South of Lake Drive and west of Dairyland Drive

Applicant: Ilir Banushi

Current Zoning/Land Use: B4 Suburban Commercial / agriculture

STAFF DISCUSSION

The petitioner requests Plan Commission consideration of a Concept Plan for a Planned Development to allow the construction of a 42-unit apartment building.

The Zoning Ordinance describes the Planned Development Concept Plan meeting as follows:

“At the Plan Commission meeting, the Applicant shall engage in an informal discussion with the Plan Commission regarding the conceptual PD. (see attached description provide by the applicant. Points of discussion and conclusions reached in this stage of the process shall be in no way be binding upon the Applicant or the City, but should be considered as the informal, non-binding basis for proceeding to the next step. The preferred procedure is for one or more iterations of Plan Commission review of the Concept Plan to occur prior to introduction of the formal petition for rezoning which accompanies the GDP application.”

Please note that this development would require an amendment to the comprehensive plan which will be the subject of a future public hearing.

[Print](#) | [Close Window](#)

Subject: Banushi development.

From: Peter Weston <pete@tdafort.com>

Date: Wed, May 12, 2021 3:18 pm

To: "rflanigan@cityofedgerton.com" <rflanigan@cityofedgerton.com>

Cc: "Iilir Banushi (2brotherspub@gmail.com)" <2brotherspub@gmail.com>, Craig Long <craig@tdafort.com>

Attach: EA-CITY SUBMITTAL.pdf

Ramona,

Here is some general info and preliminary drawings (attached) regarding the proposed apartment building on Dairyland Drive, Edgerton, and the intended surrounding development. The hope is to leave the lots west of Banushi Court commercial, and to develop the lots between Banushi Court and Dairyland drive as a mix of traditional apartments and various levels of senior living / care. The first proposed building is a 3-story, 42-unit apartment building.

Proposed 42-Unit Apartment Building

General Project Themes:

The proposed apartment building will have both underground and surface parking. The general aesthetic is "traditional". A mix of brick / stone, various siding materials, pitched roofs, and individual porches.

Mix of Dwelling Units:

Units will be 1 and 2-bedroom, with sizes varying from 720 – 1,100 s.f. The building will be equipped with an elevator.

Residential Densities:

.05 dwelling units / acre.

61% floor area ratio.

39.9% Impervious surface area ratio.

General Treatment of Natural Features:

The site is presently empty field. Landscaping to be added per general outlines / requirements.

Relationship / Adjacency to streets and properties.

The proposed apartment building is properly located as a "buffer" on the back side of the commercial properties.

Relationship to Master Plan:

This proposal looks to be congruent with the intent of the Master Plan.

Please contact myself or Craig Long if you need additional info.

Thanks,

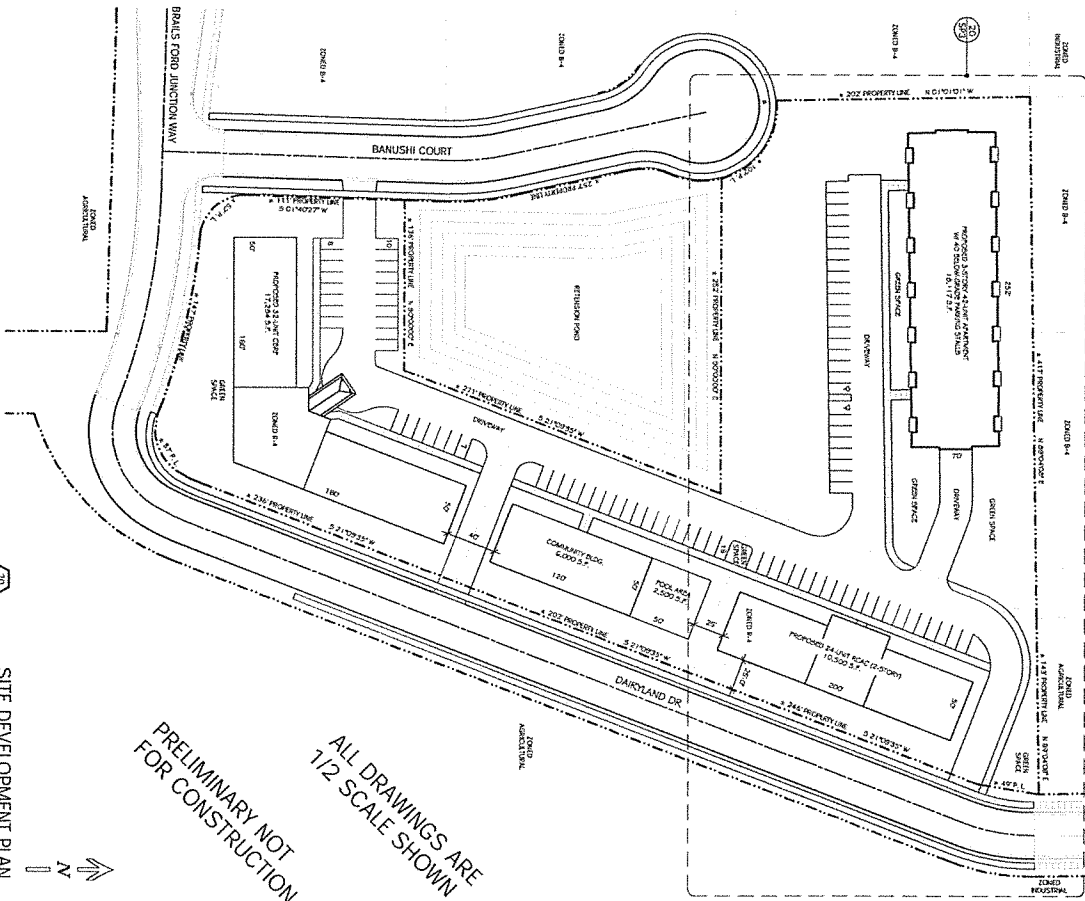
- Pete W.

Peter Weston
Architect / Owner

the Design
Alliance
Architects, Inc.

The Design Alliance Architects

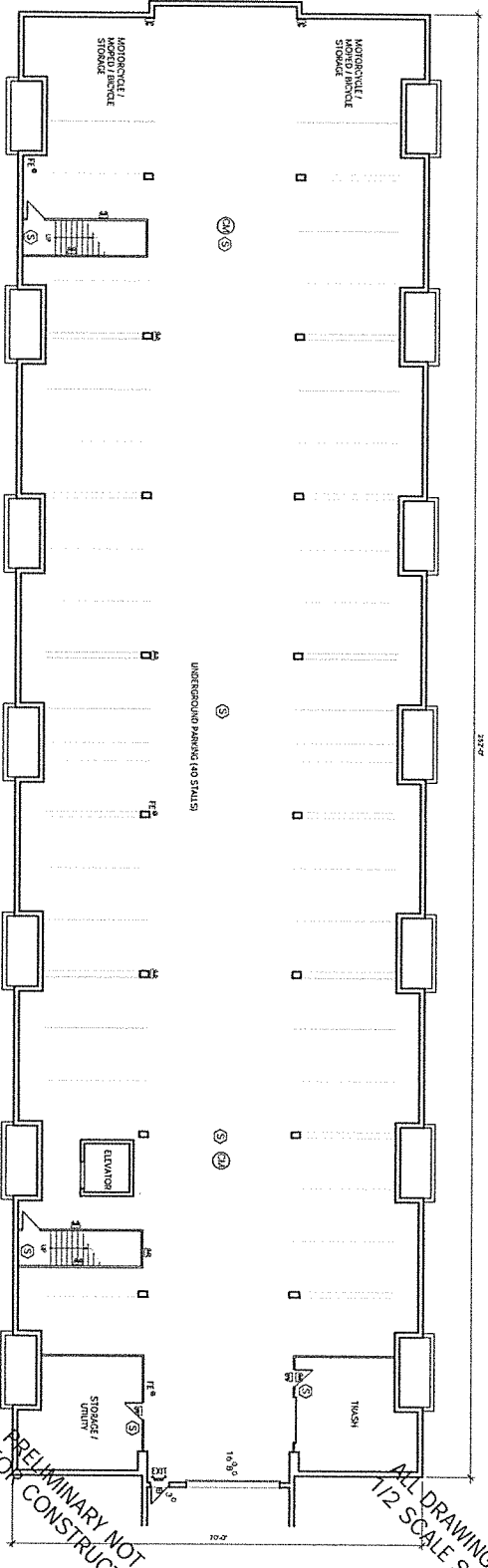
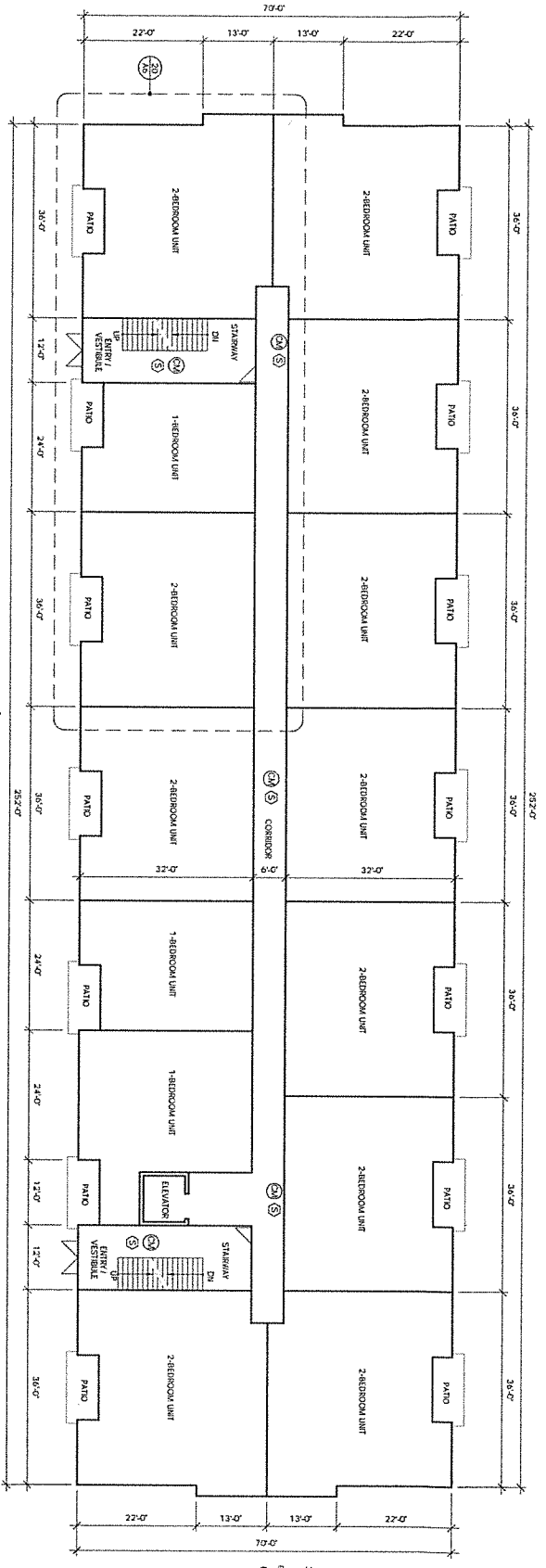
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 PRIOR TO START.



ALL DRAWINGS ARE
 1/2 SCALE SHOWN
 PRELIMINARY NOT
 FOR CONSTRUCTION

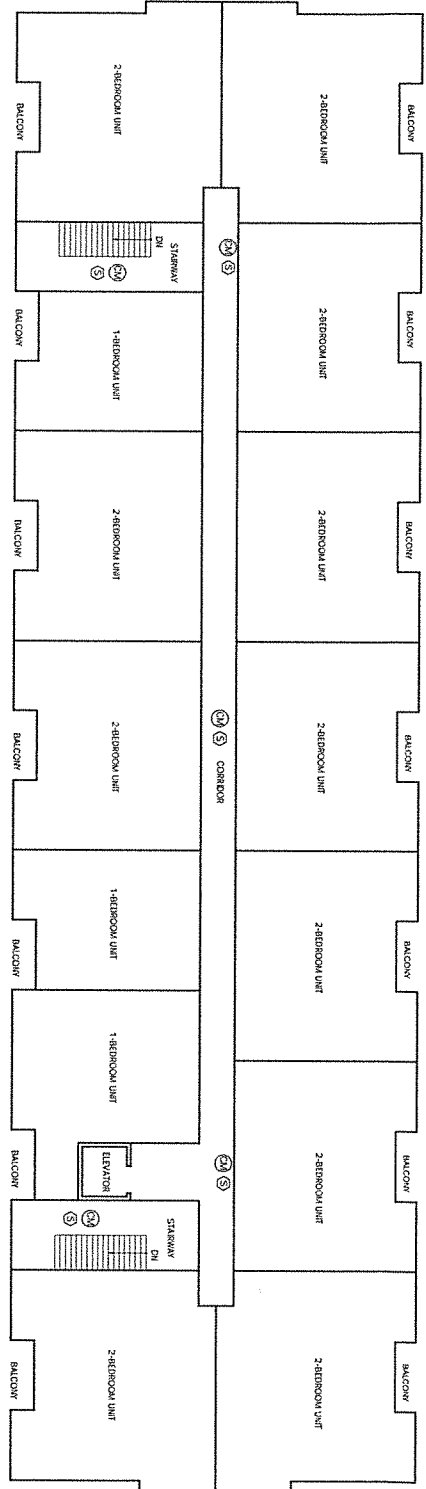
210
 212
 SITE DEVELOPMENT PLAN
 2001 HENDERSON FARMING/SCENIC/AMENITIES CORP.
 DATE: JANUARY 18, 2021

SP-2	PROJECT DATA	DATE: 4/30/2021	
	DRAWN BY: CL	CHECKED BY: P.W.	
	SHEET NO.		1003 Madison Avenue Fort Atkinson, WI
	REVISIONS		(920) 563-3404
	DRAWING NAMES		
	SITE PLAN		
	EDGERTON APARTMENTS		
	Dairyland Drive		
	Edgerton, WI		



		EDGERTON APARTMENTS Dairyland Drive Edgerton, WI	
1003 Madison Avenue Fort Atkinson, WI		(920) 563-3404	
DRAWING NAMES BASEMENT FLOOR PLAN FIRST FLOOR PLAN			
REVISIONS			
PROJECT DATA DATE: 4/30/2021 DRAWN BY: CJ CHECKED BY: RW			
SHEET NO.			
A-1			

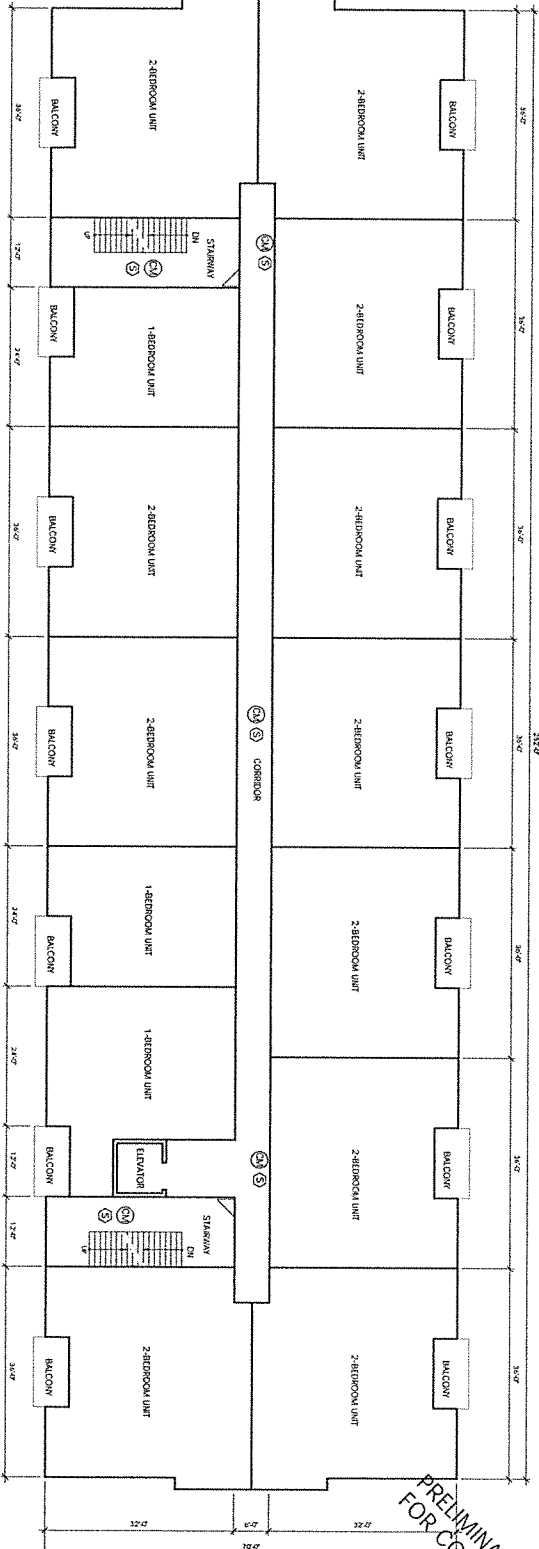
VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.



SEE SHEET A6 FOR BEAM / HEADER & BEARING WALL LOCATIONS

THIRD FLOOR PLAN
2021 EDGERTON APARTMENT RENOVATION AND
DATE: JANUARY 18, 2021

ALL DRAWINGS ARE
1/2" SCALE UNLESS NOTED OTHERWISE



SEE SHEET A6 FOR BEAM / HEADER & BEARING WALL LOCATIONS

SECOND FLOOR PLAN
2021 EDGERTON APARTMENT RENOVATION AND
DATE: JANUARY 18, 2021

PRELIMINARY NOT
FOR CONSTRUCTION

		EDGERTON APARTMENTS Dairyland Drive Edgerton, WI	
1003 Madison Avenue Fort Atkinson, WI		(920) 563-3404	
PROJECT DATA DATE: 4/30/2021 DRAWN BY: CJ CHECKED BY: JAW SHEET NO.			
DRAWING NAMES SECOND FLOOR PLAN THIRD FLOOR PLAN			
REVISIONS			
A-2			

